

From: [Andrew Clegg](#)
To: s 47F - privacy [REDACTED]
Cc: [Marcus Grzechnik](#)
Subject: PO for Comrez Linac Chiller Relocation [SEC=UNCLASSIFIED]
Date: Friday, 18 May 2018 4:15:45 PM
Attachments: [PUO004814-0.pdf](#)

Hi [REDACTED]

Please find attached PO for Comrez to relocate the existing Chiller on site to the water cooling tower area. This PO number should be stated on invoices.

Please complete works by 30 June 2018 and invoice prior to end of FY.

Thanks

Regards

Andrew Clegg

Facilities Manager

Australian Radiation Protection and Nuclear Safety Agency

619 Lower Plenty Road, Yallambie, VIC 3085, AUSTRALIA

Mobile 04 1864 5596

email andrew.clegg@arpansa.gov.au

<http://www.arpansa.gov.au>

From: Nicole Mason
Sent: Friday, 18 May 2018 2:55 PM
To: Andrew Clegg <andrew.clegg@arpansa.gov.au>
Subject: PO for Comrez Linac Chiller Relocation [SEC=UNCLASSIFIED]

Released by ARPANSA under FOI



Australian Government

Australian Radiation Protection and Nuclear Safety Agency

ABN 61 321 195 155

PURCHASE ORDER

PURCHASE ORDER No. PU0004814

Comrez Property Solutions
PO Box 3071
Strathmore VIC 3041

Supplier No: COMP03-000
Date Issued: 18/05/2018
Date Required: 25/05/2018

ORDER ENQUIRIES

Purchasing Department
Phone: (03) 9433 2315
Fax: (03) 9432 1835

**Important - Please quote Purchase Order
Number on your Invoice.**

Deliver Goods and Services and send Invoice to:

ARPANSA
619 Lower Plenty Road
Yallambie Vic 3085

Page: 1 of 1

Description	Quantity / Unit	Inclusive Unit Price	Exclusive Amount	GST Amount	Inclusive Amount
Existing Linac Chiller Relocation to Roof	0.00 ONLY	0.00	22,500.00	2,250.00	24,750.00
Total Order Amount :			\$22,500.00	\$2,250.00	\$24,750.00

Terms and Conditions

1. Any unauthorised departure from the terms of this order will be at the supplier's risk and expense.
2. Unless otherwise indicated on this order the terms of payment are 30 days from acceptance of goods or services and the receipt of a correctly rendered invoice.
3. Invoices, which are incorrectly rendered (eg. failing to quote or incorrectly quoting purchase order number, or sent to the wrong address), may be returned unpaid to the supplier for correction.
4. If the order cannot be complied with, please advise the Purchasing Department immediately.

Officer Authorised to Order

Released by ARPANSA under FOI

From: [Marcus Grzechnik](#)
To: [Sarsha Collett](#)
Subject: Fwd: PO for Comrez Linac Chiller Relocation [SEC=UNCLASSIFIED]
Date: Friday, 18 May 2018 5:34:36 PM
Attachments: [PUO004814-0.pdf](#)
[ATT00001.htm](#)

Hi Sarsha,

Can we please include in the PMAG update?

Cheers,

Marcus

Sent from my iPhone

Begin forwarded message:

From: Andrew Clegg <andrew.clegg@arpansa.gov.au>
Date: 18 May 2018 at 4:15:43 pm AEST
To: s 47F - privacy [REDACTED]
Cc: Marcus Grzechnik <Marcus.Grzechnik@arpansa.gov.au>
Subject: PO for Comrez Linac Chiller Relocation
[SEC=UNCLASSIFIED]

Hi [REDACTED]

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From: [Sarsha Collett](#)
To: [Marcus Grzechnik](#)
Cc: [\\$ARPANSA PMAG](#)
Subject: RE: PO for Comrez Linac Chiller Relocation [SEC=UNCLASSIFIED]
Date: Monday, 21 May 2018 7:41:41 AM
Attachments: [image001.png](#)

Hi Marcus,

The PMAG update includes the project documents presented to the EG, i.e. the Project Managers are responsible for preparing the project documentation (such as progress reports) for review/collation by PMAG.

The PO update for the chiller unit upgrade should be included in a Progress Report for that project. I can put this item down for an update at the next EG if you like and will send Andrew a reminder closer to the date to complete the report.

Kind regards,
Sarsha

Sarsha Collett
Director, Performance and Governance
Corporate Office
ARPANSA
(03) 9433 2430

From: Marcus Grzechnik
Sent: Friday, 18 May 2018 5:35 PM
To: Sarsha Collett <Sarsha.Collett@arpansa.gov.au>
Subject: Fwd: PO for Comrez Linac Chiller Relocation [SEC=UNCLASSIFIED]

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Facilities Manager

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From: [Marcus Grzechnik](#)
To: [Sarsha Collett](#)
Subject: RE: PO for Comrez Linac Chiller Relocation [SEC=UNCLASSIFIED]
Date: Monday, 21 May 2018 8:28:00 PM
Attachments: [image001.png](#)

Yes, that is fine... we can include it in the next report to the EG.

Marcus

From: Sarsha Collett
Sent: Monday, 21 May 2018 7:42 AM
To: Marcus Grzechnik <Marcus.Grzechnik@arpansa.gov.au>
Cc: \$ARPANSA PMAG <pmag@arpansa.gov.au>
Subject: RE: PO for Comrez Linac Chiller Relocation [SEC=UNCLASSIFIED]

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Released by ARPANSA under FOI

From: [Andrew Clegg](#)
To: s 47F - privacy
Cc: [Marcus Grzechnik](#)
Subject: FW: ARPANSA Storage Facility Ventilation-Yallambie - ARPANSA Comments [SEC=UNCLASSIFIED]
Date: Friday, 25 May 2018 2:13:08 PM
Attachments: [SKM-1.pdf](#)
[Waste Store Ventilation Design ARPANSA Comments 2018-05-25.pdf](#)

Hi s 47F - privacy

Please find the waste store ventilation comments from ARPANSA.

Regards

Andrew Clegg

Facilities Manager

Australian Radiation Protection and Nuclear Safety Agency

619 Lower Plenty Road, Yallambie, VIC 3085, AUSTRALIA

Mobile 04 1864 5596

email andrew.clegg@arpansa.gov.au

<http://www.arpansa.gov.au>

Regards

Andrew Clegg

From: s 47F - privacy
Sent: Wednesday, 23 May 2018 9:22 AM
To: Andrew Clegg <andrew.clegg@arpansa.gov.au>
Subject: Fwd: ARPANSA Storage Facility Ventilation-Yallambie

Hi Andrew

Hope you are doing well. Please find attached the mechanical ventilation design for the proposed storage area, please view and get back to me at your earliest possible so we can proceed with it.

Kind regards

s 47F - privacy

A. S. Building Consultants

Email sent using Optus Webmail

Released by ARPANSA under FOI

FAN SCHEDULE

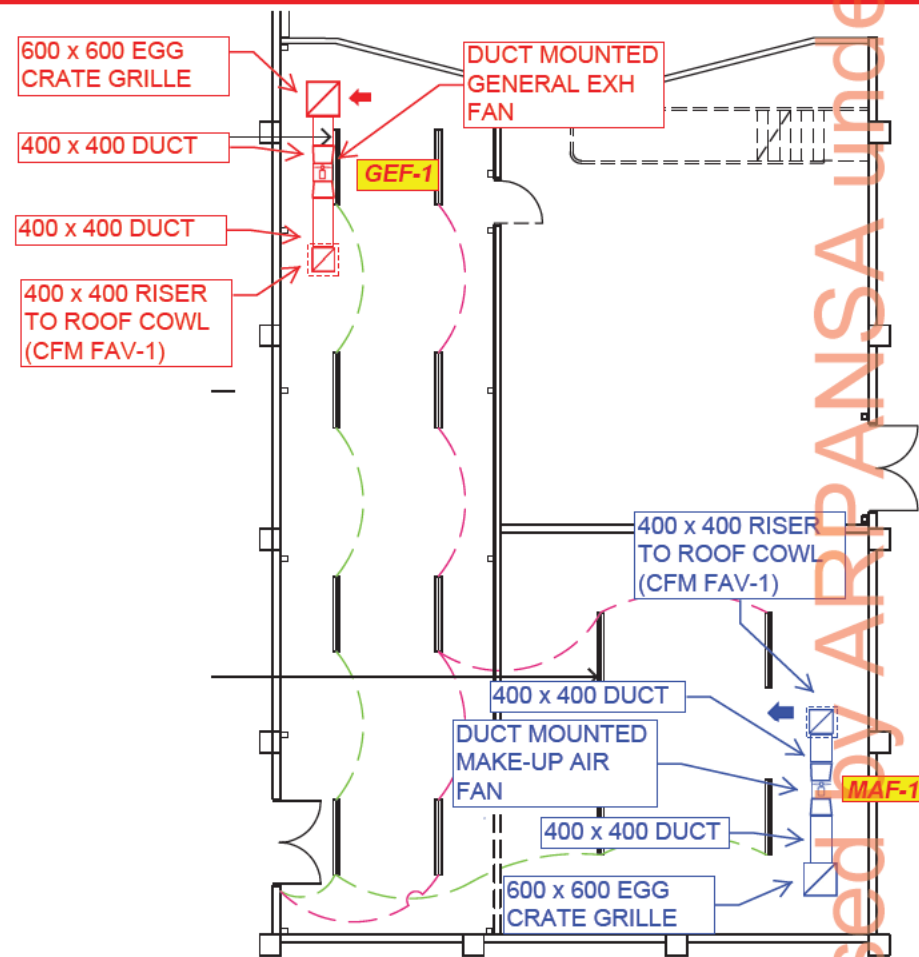
Designation	GEF-1	MAF-1
Location	CEILING SPACE	CEILING SPACE
Area Served:	STORAGE AREA	STORAGE AREA
Make:	CFM	CFM
Model:	MUA305-4E - 40 DEG	MUA305-4E-20 DEG
Type	Centrifugal - Roof Mounted	Axial - Duct Mounted
Air Quantity	600	480
Estim. Static (Pa)	80	80
Mounting:	Roof Mounted	Duct Mounted
SPEED (RPM)	1440	1440
Motor (kW)	0.18	0.18
FLA (Amp)	0.8	0.8
Phase	1 PH	1 PH
COMMENT	POWERED FROM LOCAL ON/OFF SWITCH	INTERLOCKED WITH GEF-1

BUILDING SERVICES
ENGINEERING AND
DESIGN
1310 Portarlington Road
Curlewis 3222
0423 279 170

ARPANSA
619 LOWER
PLENTY ROAD
YALLAMBIE 3085

SHEET TITLE:
STORAGE FACILITY
VENTILATION
SERVICES

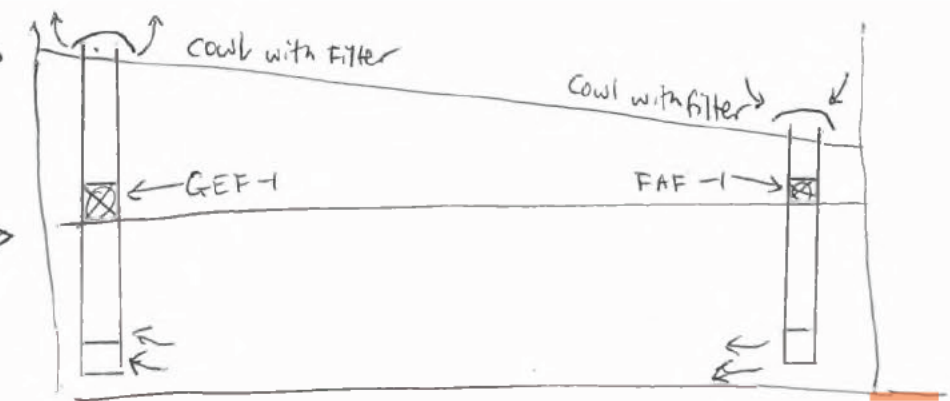
May 2018
Scale: NTS
Drawing No.
SKM-1



25/05/2018

External Roof:

Internal Roof/
Mezzanine Floor.



FAN SCHEDULE

Designation	GEF-1	MAF-1
Location	CEILING SPACE	CEILING SPACE
Area Served:	STORAGE AREA	STORAGE AREA
Make:	CFM	CFM
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Motor (kW)	0.18	0.18
FLA (Amp)	0.8	0.8
Phase	1 PH	1 PH
COMMENT	POWERED FROM LOCAL ON/OFF SWITCH	INTERLOCKED WITH GEF-1

FAF-1

Internal Roof/Mezzanine mount OK for fan unit
External Roof mount for filter + cowl/vents.

Indication if
loss of ~~pressure~~
air flow to
be mounted at
postn 'A'
+ Filter.

BUILDING SERVICES
ENGINEERING AND
DESIGN
1310 Portarlington Road
Curlewis 3222
0423 279 170

ARPANSA
619 LOWER
PLENTY ROAD
YALLAMBIE 3085

SHEET TITLE:
STORAGE FACILITY
VENTILATION
SERVICES

May 2018
Scale: NTS
Drawing No.
SKM-1

600 x 600 EGG
CRATE GRILLE

400 x 400 DUCT

400 x 400 DUCT

400 x 400 RISER
TO ROOF COWL
(CFM FAV-1)

DUCT MOUNTED
GENERAL EXH
FAN

GEF-1

Postn 'B'

400 x 400 RISER
TO ROOF COWL
(CFM FAV-1)

400 x 400 DUCT

DUCT MOUNTED
MAKE-UP AIR
FAN

400 x 400 DUCT

600 x 600 EGG
CRATE GRILLE

MAF-1

Postn 'A'

FAF-1

Add Ladder Bracket at Postn 'B'

(Fresh Air
Fan)

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From: [Marcus Grzechnik](#)
To: [Andrew Clegg](#); [Peter Harty](#); [Duncan Butler](#)
Cc: [Gillian Hirth](#)
Subject: Waste Store & s 47E - operations [SEC=UNCLASSIFIED]
Date: Tuesday, 29 May 2018 12:06:00 PM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)

Hi All,

Peter and I met today regarding possible controls and procedures on the s 47E - operations in the waste store.

Whilst a physical column within the store is probably the easiest option and guarantees that the area would not be occupied, it would reduce the capacity of the store for an activity that is an occasional occurrence.

Our preferred procedure going forward is the following;

- An 'exclusion zone' marked on the floor. Drums would be stacked over this, and any drums placed over this area should be appropriately marked.
- Electronic notification in the case of s 47E - operations This could be either (or both);
 - To the operator of the s 47E - operations (that the store is occupied),
 - To the store as a flashing light (that the s 47E - operations is set to vertical).
- Appropriate operational controls, such as notification that the s 47E - operations will be used in the s 47E - operations on a certain day.

I'm happy to discuss any further suggestions and the pros & cons of options above, but in the meantime Andrew and I can discuss logistics.

Cheers,

Marcus

Dr Marcus Grzechnik

Director

Monitoring and Emergency Response Section

Australian Radiation Protection and Nuclear Safety Agency

619 Lower Plenty Road,
Yallambie, Victoria, 3085 Australia

Phone: +61 3 9433 2292 | **Mobile:** +61 422 351 516

Email: Marcus.Grzechnik@arpansa.gov.au

<http://www.arpansa.gov.au>



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From: [Andrew Clegg](#)
To: [Marcus Grzechnik](#); [Leannnda Coote](#)
Subject: FW: ARPANSA Waste Store Project - Invitation to Quote and documentation [SEC=UNCLASSIFIED]
Date: Friday, 15 June 2018 3:08:12 PM
Attachments: [Waste Store - Builder Contacted for a RFQ 15-06-2018.docx](#)

FYI

I have sent this this afternoon to 5 builder for quotation. I have spoken with 4 of the 5 (with 1 message outstanding). The attachment include the builder's details.

Regards

AC

From: Andrew Clegg
Sent: Friday, 15 June 2018 3:04 PM
Subject: ARPANSA Waste Store Project - Invitation to Quote and documentation [SEC=UNCLASSIFIED]

As discussed - please find building design documentation associated with the ARPANSA Waste Store Project.

Documentation attached:

- CONSTRUCTION RFQ - ARPANSA Yallambie Waste Store 14-06-2018
- Final Plans - ARPANSA
- ARPANSA Engineering Drawing
- ARPANSA Mechanical Engineering Plan 1
- ARPANSA Mechanical Engineering Plan 2
- NPC and Police Check Information Sheet

Please review and contact myself around inspecting the site. You will notice there are three dates nominated that are preferred. If this is not possible, please advise for other arrangements.

Any questions please do not hesitate to contact myself.

Regards

Andrew Clegg

Facilities Manager

Australian Radiation Protection and Nuclear Safety Agency

619 Lower Plenty Road, Yallambie, VIC 3085, AUSTRALIA

Mobile 04 1864 5596

Released by ARPANSA under FOI

email andrew.clegg@arpansa.gov.au

<http://www.arpansa.gov.au>

Released by ARPANSA under FOI

Waste Store – RFQ – Identified Builders 15/06/2018

<p>s 47F - privacy</p> <p>s 47F - privacy</p>	<p>Via s 47F - privacy</p>	<p>Intro made by AC. COB happy to look over project with a view to quoting.</p>
<p>s 47F - privacy Blue Sky Constructions Builders of Domestic & Commercial Projects PO Box 2271 Taylors Lakes Victoria 3038 s 47F - privacy email: s 47F - privacy</p>	<p>Via s 47F - privacy</p>	<p>Intro made by AC. COB happy to look over project with a view to quoting.</p>
<p>s 47F - privacy</p>	<p>Previous quote provided for Rm 459</p>	<p>Project intro made by AC. s 47F - P happy to look over project with a view to quoting.</p>
<p>s 47F - privacy Commercial Property Concepts Builder s 47F - privacy</p>	<p>Previous quote provided for Rm 459</p>	<p>Project intro made by AC. s 47F - P happy to look over project with a view to quoting.</p>
<p>INTREC s 47F - privacy</p>	<p>s 47G - business</p>	<p>Message left for a call back 15/06/2018</p>



Construction RFQ– Waste Storage Area Yallambie

Released by ARPANSA under FOI

Project Name:	Waste Storage Area - Yallambie		
Date:	14/06/2018	Release:	Issue as RFQ
Author:	A.Clegg		
Owner:	A.Clegg		
Container:	2017/01479(08)		

Revision Date	Previous Revision Date	Summary of Changes	Changes Marked
14/06/2018	V0	Initial	-

Project Overview:

The ARPANSA Yallambie Facility is located at 619 Lower Plenty Road, Yallambie, Vic 3085. It is proposed to create a Waste Storage Area at this site located in the rear ground floor s 47E - . Some minor construction works are required to increase the size and capacity of the proposed waste storage area. These works are broadly to extend the internal block wall of the s 47E - operations .

Request for Quotation (RFQ):

A quotation is required to provide construction sourcing from builders to fulfil ARPANSA governance requirements.

Quotation due 26 June 2018

Site availability for Inspection for Quoting:

Confirm prior with ARPANSA Facility Manager on 0418645596 for the following times:

- Tuesday 19/06/2018 between 08.30am – 09.00am
- Wednesday 20/06/2018 between 11.30am – 12 noon
- Monday 25/06/2018 between 08.30am – 09.00am

Project documentation includes:

Design

- Architectural drawings/plans
- Engineering drawing/plans
- Mechanical drawings/plans

Asbestos Register

Police Check Information PowerPoint

Project Timing:

Project Timing for completion /issue of Certificate of Occupancy by 30 August 2018

Project Considerations:

No Planning Permit will be required

Building Permit will be arranged by s 47F - C/- AS Building Consultants

Suite1, 418-428 Bell Street Pascoe Vale Victoria 3044 Tel: 9078 9207 E-Mail: bpermit24hr@optusnet.com.au

Building Certifier (including Fire Systems) will be s 47F - C/- AS Building Consultants

Certificate of Occupancy to be issued as appropriate by relevant Building Surveyor s 47F - C/- AS Building Consultants

Other projects and construction works will be undertaken around the facility during this time. These will include fault attendance and access and routine maintenance contractors .

Noisy works to be prior to 0900 weekdays.

Project Functionality:

The proposed waste storage area in the s 47E - will be to house 210 drums of building material waste. Drums used for this storage are of the 44-gallon type drums. These will be transported to ARPANSA on "Chep Type" pallets. Each pallet will contain four drums. Each drum is rated at maximum of 220 kg and mass of contents will not exceed this. Of note is that whilst this is the maximum drum load and weight some drums may be significantly lighter than this due to contents being lighter weight (e.g. wood beams). A detailed drum manifesto (via ANSTO) will be available with drum referencing contents and weights. For the purposes of project design and construction, the maximum drum loading of 220 kg shall be assumed.

The waste storage area in the s 47E - will require removal of existing equipment, sealing of floors and wall penetrations and painting. The final arrangement will include installation of air flow, appropriate locking, local alarms and shelving to accommodate drums.

Drum configuration inside the proposed expanded modulator room/new Waste Storage Room is for:

- A lower level of drums on pallets to be mounted on the concrete floor.
- A second, higher level, is proposed to be mounted on shelving directly above the lower level of drums. For design purposes it should be assumed that a third level of shelving is included so that the drums may be arranged three-high.
- Drum location and placement is to facilitate regular visual inspections, air circulation and accessibility for any future drum/pallet handling via a forklift (e.g. Crown model 25WRTL102 or similar unit).

Building Changes:

No Change:

Door from § 47E - operations (Existing electric “Kara” brand lock is installed and will remain)

Courtyard

Basement Linac area

Plant Room Ramp

Changes:

Extend § 47E - – Refer Attachment A.

New § 47E - walls.

Internal roof above modulator room to be extended across new walls.

Seal wall and floor penetrations. (leaving space for data cable runs and draw wires). Suggested approach is inserting steel bridge to maintain cable route for future cable runs and caulk/seal with cement. Inspection recommended.

Ceiling, wall and floor caulk seal, prep and paint.

Make good to existing.

Demolition:

Removal of small internal goods lift

Removal of non compliant ladder

Remove data and electrical cable trays.

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Chiller:

Existing Linac Chiller Unit MTA EVO 051 (located in s 47E -) will be removed by others (Comrez) prior to site construction works.

Fire Systems:

Refer to design drawings and documentation.

Security:

Security Systems – Existing electric door combination locks is adequate and no change required.

Radon Monitoring Alarms:

Supply with project 3 wireless Radon detectors. (Corentium Pro Airthings units) Detectors). Information available upon request.

Unit information is available via the following link: <https://airthings.com/us/>

Electrical:

Retain existing GPOs in original s 47E - operations areas where possible. No further GPO's to be installed in Modulator Room.

- Replace s 47E - lighting with energy efficient LED lighting. Lighting shall be wired in two banks (2 switches) and controlled at one position with a neon indicator).

All circuits shall be labelled. All switches and GPO's shall be labelled with the source distribution board number and circuit number.(Eg "DBU1 – CB 23")

Wiring to be completed at AS3000 with a certificate of Electrical Safety for any works provided.

Ventilation:

Refer to design drawings and documentation.

Builder to provide of a set of "No Volt" contacts on the exhaust fan motor to allow others to connect monitoring of the associated fan motor. (Other parties to provide this monitoring and integration with the internal BMS system).

Fire Systems:

Refer to design drawings and documentation.

Data/Alarms:

Refer to design drawings and documentation.

Floor:

Refer to design drawings and documentation.

Doors

Refer to design drawings and documentation.

Building Code

Builders to comply with the Australian Building and Construction Commission as per work for Commonwealth entities and associated contract clauses (see <https://www.abcc.gov.au/building-code/funding-entities>).

Construction Access / Misc:

- Rear Basement double secure door via plant room ramp to s 47E - [REDACTED].
- Ramp to be a common or shared space for staff and maintenance contractor's space
- Construction zone anticipated to be from the door from plant room ramp to s 47E - [REDACTED].
- Appropriate signage/barrier/temporary hording is anticipated in the linac control room & also the internal courtyard to zone off the construction area for safety.
- Generally access inside building will be limited to construction zone,
- Work to be completed during business hours. 0700 – 1700 Monday to Friday.
- Weekend work generally to be avoided.
- Please note rear of building will have the presence of other contractors maintenance and other projects.
- Builders to provide their own amenities.

Health & Safety Considerations

As is typical for this age of building asbestos is present in some areas.

The ARPANSA asbestos register is included for inspection.

Most electrical circuits are well labelled. However all electrical circuits should be tested to confirm source and state. Please note that ARPANSA require any ceiling grid should be inspected and tested to ensure during construction works that this does not become electrically energised/live.

Fire and smoke detector isolations, augmentations and re-commissioning is via written approval from ARPANSA Facility Manager. 5 days notice is requested for large non routine works and should be via an impairment notice.

Security:

Refer Attachment D: Construction Access & Security – Yallambie.

Records:

ARPANSA Records - Hard Copy Facility drawings are available for inspection and a copy can be provided electronically. However, this is by person and by arrangement.

Service Provider Records:

These remain the property of ARPANSA at all times (both .dwg and .pdf).

Electronic files in .dwg and .pdf file formats shall be provided to client ARPANSA at the following stage;

- (i) As-Built Stage

Incumbent Suppliers

The follow list includes incumbent suppliers that may be contacted & utilised if the builder wishes. These parties hold site experience, inductions and valid police checks.

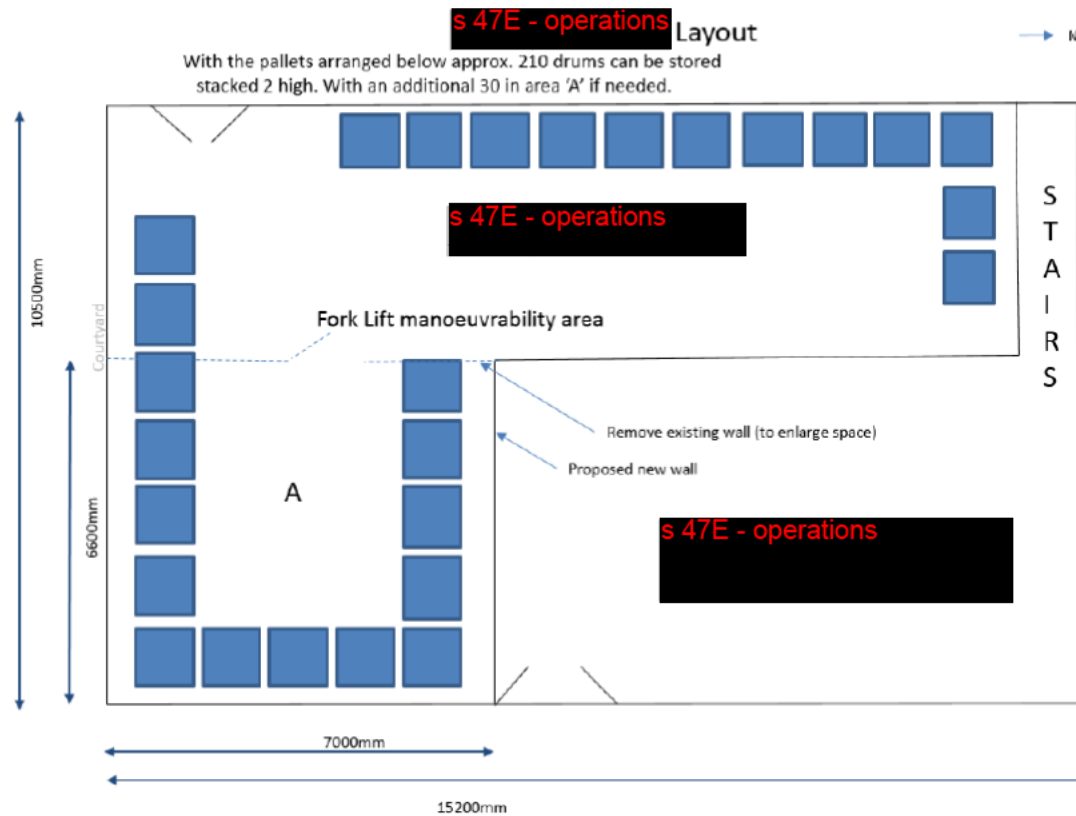
- Mechanical/General Property – Comrez – s 47F - privacy
- Electrical – KBP Electrical – s 47F - privacy
- Fire Systems – Fire Security Services – s 47F - privacy
- Plumbing – Viney Plumbing – s 47F - privacy

RFQ Response:

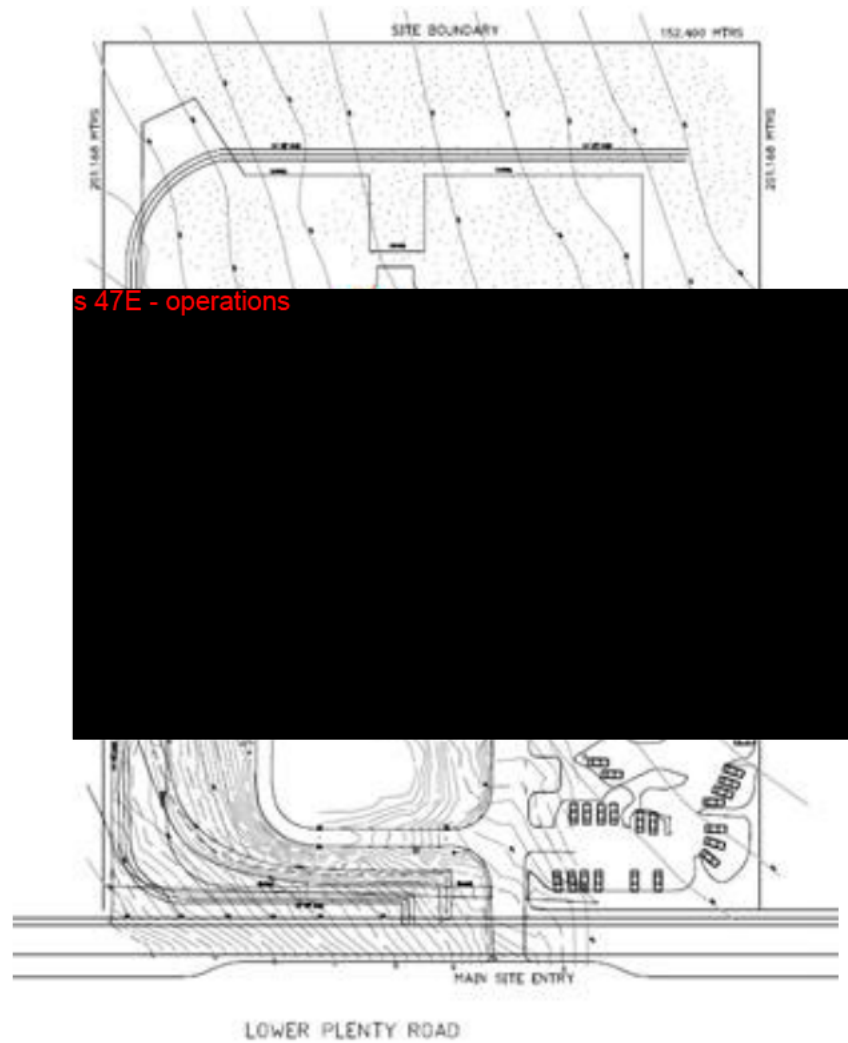
Template to be completed by invited parties please refer Attachment E: RFQ Response Template.



Attachment A – Proposed Area

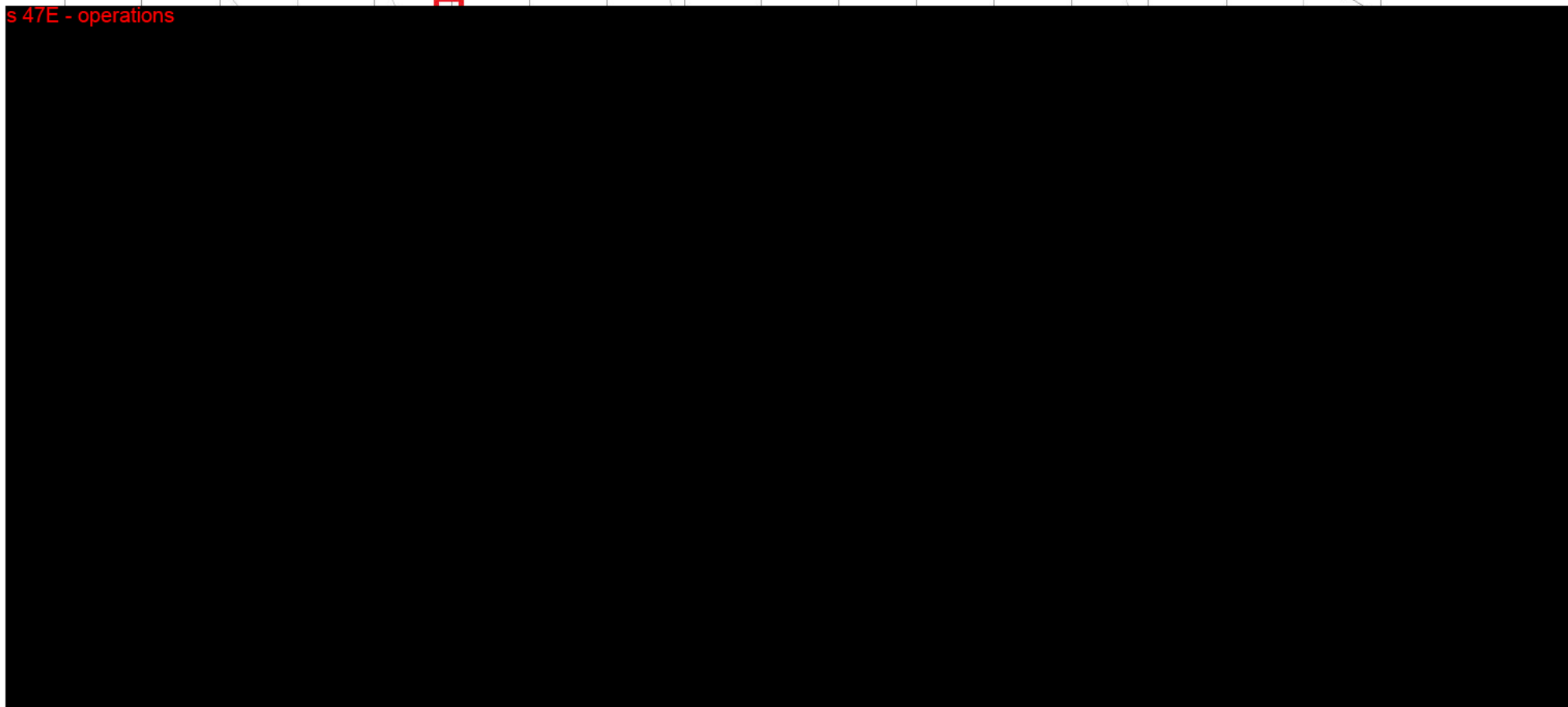


Attachment B – General Area:

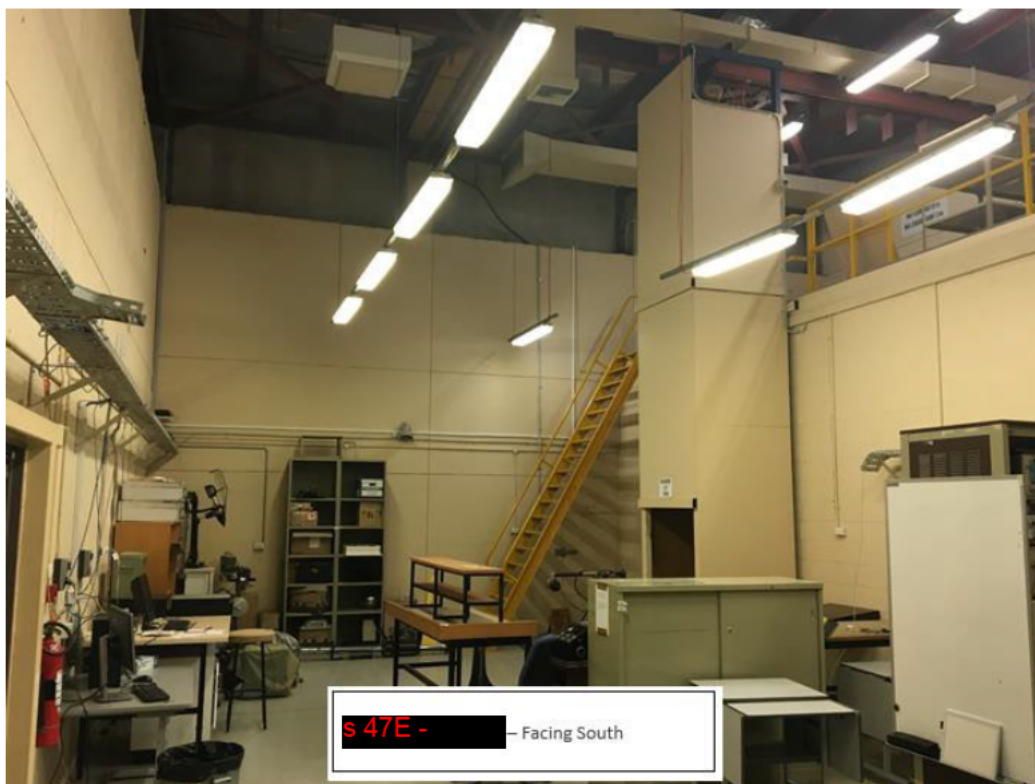


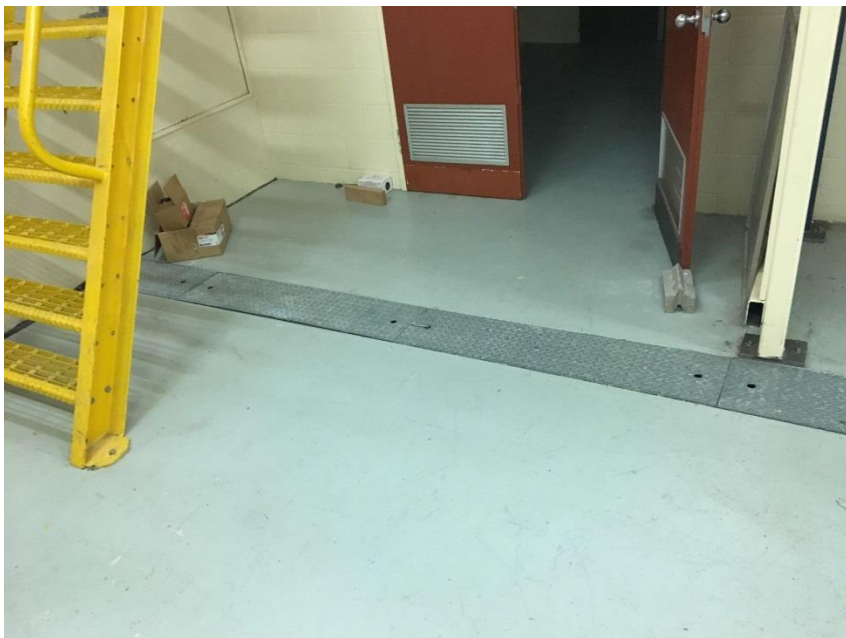
8	9	1	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25
					Access												

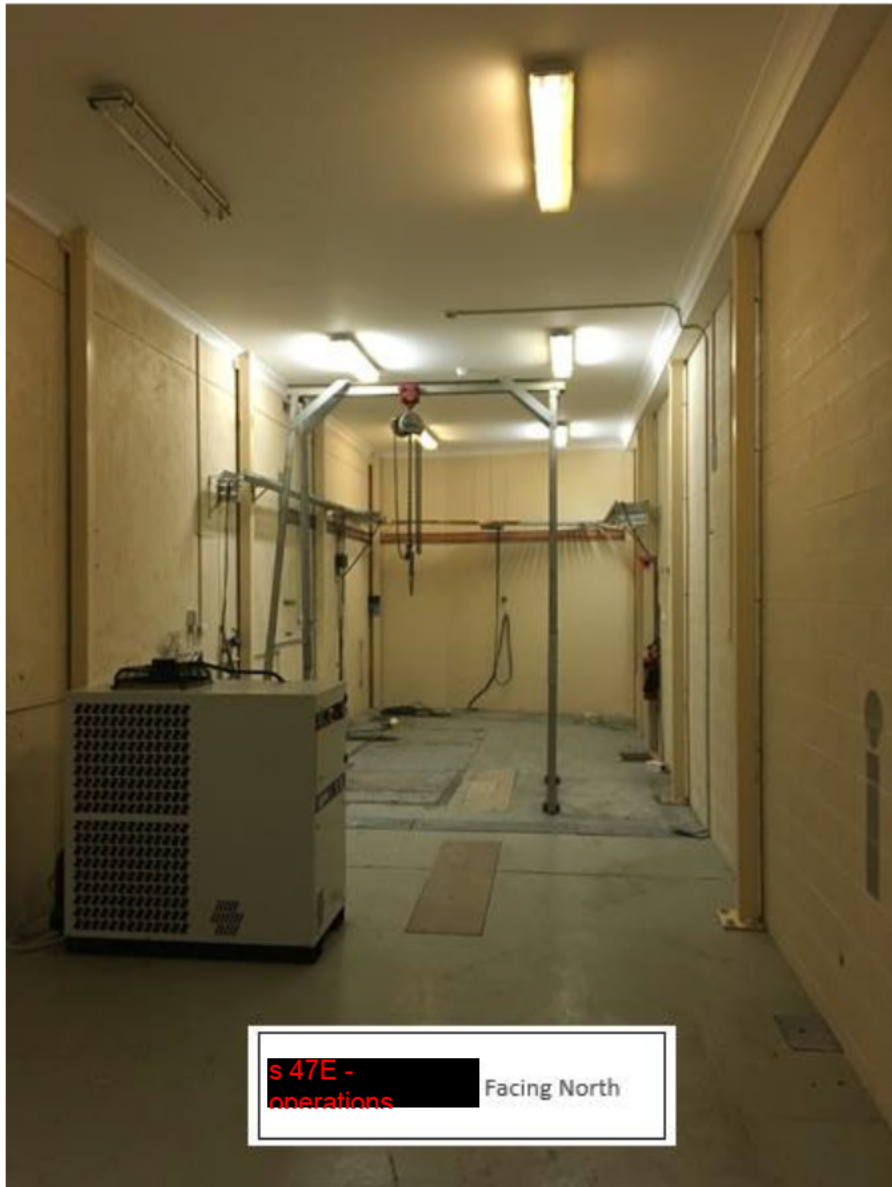
s 47E - operations



Attachment C – Photographs:













Attachment D

Construction Access & Security - Yallambie

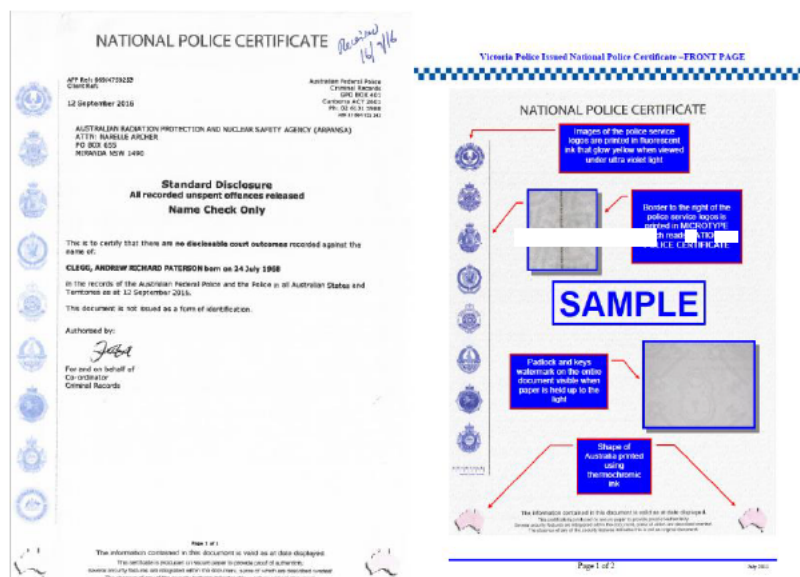
- Construction site to be labelled and have a clear demarcation zone starting from Level 1 adjacent to stairs.
- Demarcation zone between construction zone and office space.
- Contractors to have their nominated Site Manager on site at all time. (Or appointed delegate).

Site Manager and all other Construction personnel:

Includes main contractor staff and subcontractors.

- All to be nominated including subcontractors.
- Photo ID required to be presented prior to project start and sighted on attendance.
- Required to have a current *"Victoria Police Issued National Police Certificate"* (refer attachment A below).
- An alternative online Police History Check is acceptable (NCC/CV Check/Fit for Work) – however care needs to be exercised as these can expire.
 - (If the main contractor's nominated subcontractor is substituted, ARPANSA is to be notified. In this case access for this person will be via an escort at all times by an employee of the same company).
 - Further Information is described in the ARPANSA document : *NPC and Police Check Information Sheet.ppt*

- *"Victoria Police Issued National Police Certificate"*.



Attachment E

RFQ Response Template

Quoted Cost		
Labour	\$	
Materials	\$	
Total Cost (ex GST)	\$	
Total Cost (Incl GST)	\$	
Copies of certificates of currency for public liability (\$20 million minimum) and WorkCover insurance	Please attach	
WH&S Credential to be listed	Please attach	
Confirmation that the business has had zero charges or prosecutions associated with WorkSafe Victoria in last 10 years	Y/N	
Acknowledgement that works will be completed to ABCC requirements in the contract clauses	Y/N	
Construction delivery date based on Contract establishment and PO Generated by 30 June 2018	Complete dd/mm/yyyy	
Technical Referee for a recent Victorian Construction Commercial Project	Name/Title/Role:	Phone Number/ Email Address:
Confirm pricing is in accordance to supplied: Architectural drawings/plans Engineering drawing/plans	Y/N	

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Mechanical drawings/plans		
Advise any non-conformance	List Below	

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GENERAL NOTES:

1. DO NOT SCALE DRAWINGS, USE WRITTEN DIMENSIONS ONLY. BUILDER TO VERIFY ALL LEVELS AND MEASUREMENTS PRIOR TO THE COMMENCEMENT OF ANY WORK. BUILDER TO CHECK PLANS AGAINST ON SITE CONDITIONS AND REPORT ANY DISCREPANCIES TO THE DRAFTSPERSON IMMEDIATELY.

2. THE BUILDER IS TO ENSURE THAT NO PART OF THE STRUCTURE INCLUDING DRAINAGE AND FOOTINGS IS TO ENCROACH OVER THE TITLE BOUNDARY

3. SITE BOUNDARY TO BE VERIFIED PRIOR TO ANY WORKS COMMENCING, BUILDER / OWNER TO ENGAGE A SUITABLE QUALIFIED LAND SURVEYOR IF REQUIRED.

4. SITE CLASSIFICATION, CLASS N/A OR AS PER THE SOIL REPORT IF UNDERTAKEN, THE DRAFTSPERSON IS TO BE IMMEDIATELY NOTIFIED IF THE SITE CLASSIFICATION OR THE FOUNDING DEPTH OF THE SOIL REPORT DIFFERS FROM THE ARCHITECTURAL PLANS.

5. THE BUILDER AND/OR THE OWNER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THAT THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL BUILDING WORKS.

6. ALL EXISTING CONDITIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OR ORDERING OF MATERIALS.

7. ALL FOOTINGS TO COMPLY WITH AS 2870/1996

8. ALL TIMBER FRAMING TO COMPLY WITH AS 1684/2006 PARTS 2, 3 & 4

9. ALL STRUCTURAL TIMBERWORK SHALL CONFORM TO THE REQUIREMENTS OF AS1720S.A.A TIMBER ENGINEERING CODE AND AS 1684 S.A.A LIGHT TIMBER FRAMING CODE

10. ALL ROOF FIXINGS AND TIE DOWNS ARE TO COMPLY WITH AS 1684 / 2006 PARTS 2, 3 & 4

11. ALL WALLS AND ROOF BRACING IS TO COMPLY WITH AS 1684 / 2006 PARTS 2,3 & 4

12. ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, THE BUILDING REGULATIONS, THE BUILDING ACT AND ANY OTHER RELEVANT BY-LAWS, AUSTRALIAN STANDARDS, ACTS OR LOCAL COUNCIL REQUIREMENTS.

13. ALL PLUMBING TO BE DONE BY REGISTERED PLUMBERS IN ACCORDANCE WITH AUSTRALIAN STANDARDS AND TO THE SATISFACTION OF THE LOCAL AUTHORITY. ALL JOINS TO BE WATER TIGHT.

14. A LICENSED PLUMBER IS TO SEAL AND MAKE SURE ALL GAS AND WATER SUPPLIES TO THE AREA AFFECTED BY WORKS ON SITE

15. A LICENSED ELECTRICIAN IS TO DISCONNECT AND MAKE SAFE ALL POWER SUPPLY TO THE AREA AFFECTED BY WORKS ON SITE

16. PROVIDE THERMAL INSULATION AS PER THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA (PART 3.12 OF THE BUILDING CODE OF AUSTRALIA)

17. ALL GLAZING TO COMPLY WITH AS 1288/2006

18. STEPS - MAXIMUM RISER 190mm MINIMUM TREAD 250mm AS PER THE BUILDING CODE OF AUSTRALIA

19. HANDRAILS TO BE A MINIMUM 865mm ABOVE THE NOSING OF TREADS AND 1000mm ABOVE THE LANDING WITH BALUSTRADES A MAXIMUM 125mm APART. MAXIMUM 125mm SPHERE BETWEEN TREADS.

20. BALUSTRADES TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA , AS1770.1 DEAD AND LIVE LOAD COMBINATIONS, AND AS/NZ1170.1-PERMANENT, IMPOSED AND OTHER ACTIONS. BALUSTRADES 4000mm AND GREATER ABOVE THE SURFACE BENEATH MUST NOT HAVE ANY PART THAT IS CLIMBABLE.

21. CONCRETE STRENGTH TO BE A MINIMUM 20MPA IN 28 DAYS

22. PROVIDE EMERGENCY LIFT UP HINGES TO THE TOILET DOORS WHERE THE DISTANCE TO THE THE DOOR FROM THE PAN IS LESS THAN 1200mm AS PER THE BUILDING CODE OF AUSTRALIA

23. LIGHT AND VENTILATION IS TO COMPLY WITH THE REQUIREMENT S OF THE BUILDING CODE OF AUSTRALIA.

24. ALL EXTERNAL STEEL WORKS SHALL BE HOT DIPPED GALVANIZED, INTERNAL STEEL WORK SHALL BE PRIMED WITH INORGANIC ZINC SILICATE COAT IN ACCORDANCE WITH AS3700/2001 AND AS PER THE BUILDING CODE OF AUSTRALIA

25. THESE NOTES ARE NEITHER EXHAUSTIVE, NOR A SUBSTITUTE FOR THE REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS AND UNLESS EXPRESSLY STATED OTHERWISE ARE PROVIDED ONLY AS GUIDELINES. NO RESPONSIBILITY IS ACCEPTED FOR THERE USE.

26. PROVIDE ROOF FLASHING AS PER THE BUILDING CODE OF AUSTRALIA

27. AREAS ADJACENT TO FOOTINGS ARE TO BE GRADED AND DRAINED AWAY FROM THE BUILDING TO PREVENT PONDING OF WATER

28. THE MINIMUM FALL OF A BOX GUTTER IS TO BE 1:100

29. PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH AS3660.1/200 IF REQUIRED BY THE RELEVANT COUNCIL

30. EXIT DOORS WHICH SWING AWAY FROM THE DIRECTION OF EXIT TRAVEL TO BE CAPABLE OF BEING HELD IN THE OPEN POSITION

31. POWER OPERATED SLIDING DOORS SERVING AS EXITS ARE TO BE CAPABLE OF BEING OPENED BY HAND UNDER A FORCE NO MORE THAN 110N UPON MALFUNCTION OR FAILURE OF THE POWER SOURCE

32. NON-SLIP FINISHES TO BE PROVIDED TO ALL STEPS, RAMPS AND LANDINGS

33. SIGNS REQUIRED TO FIRE DOORS INDICATING "FIRE DOOR - DO NOT OBSTRUCT" IN 20mm HIGH LETTER IN A CONTRASTING COLOUR IN ACCORDANCE WITH CLAUSE D2.23, BCA 2009

34. ALL PENETRATIONS THROUGH THE FIRE RATED MEMBERS TO BE SEALED USING FIRE COLLARS OR FIRE SEAL AS APPROPRIATE IN ACCORDANCE WITH CLAUSE C 3.15, BCA 2009

35. DISABLES ACCESS, SANITARY FACILITIES AND SIGMA TO BE PROVIDED IN ACCORDANCE WITH AS1428.1

36. EXHAUST AIR OUTLETS NOT TO BE LOCATED CLOSER THAN 6m TO FRESH AIR INLETS

37. MECHANICAL VENTILATION SYSTEM TO COMPLY WITH AS1668.2-1991 & AS/NZS3666.1&2-2002

38. MINIMUM 2400mm CEILING HEIGHT TO ALL NEW PORTIONS OF CEILING

39. FIRE INDICES OF MATERIALS, LINING AND SURFACE FINISHES TO COMPLY WITH SPECIFICATION C1.10, BCA

40. ELECTRICAL SWITCHBOARDS LOCATED IN THE PATH OF TRAVEL TO EXITS TO BE ENCLOSED IN NON-COMBUSTIBLE CONSTRUCTION OR A FIRE PROTECTIVE COVERING WITH WITH DOORWAYS OR OPENING SUITABLY SEALED AGAINST SMOKE SPREADING FROM THE ENCLOSURE

41. EXIT DOORS WHICH SWING AGAINST THE DIRECTION OF EXIT TRAVEL TO BE CAPABLE OF BEING HELD IN THE OPEN POSITION

42. GUARDRAILS ARE TO BE PROVIDED TO ROOF PLATFORM IF A PLATFORM EXCEEDS 300mm IN HEIGHT FROM EXISTING ROOF LINE. DESIGN, CONSTRUCTION AND INSTALLATION OF ACCESSWAY, LADDER AND FIXED PLATFORM IS TO BE IN ACCORDANCE WITH AS1657-1992

43. ARTIFICIAL LIGHTING TO COMPLY WITH AS1680.0-1998

44. ALL DOORWAYS TO HAVE A MINIMUM UNOBSTRUCTED HEIGHT OF 2m AND MINIMUM WIDTH NOT LESS THAN 750mm OR 850mm TO ALLOW FOR DISABLED ACCESS.

45. EXIT SIGNS AND EMERGENCY LIGHTS TO COMPLY WITH AS2293.1-2005

46. PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH AS2444-2001, PROVIDE 3A 20B (E) DRY CHEMICAL PORTABLE FIRE EXTINGUISHER WITHIN 2m TO 20m OF ALL ELECTRICAL SWITCHBOARDS.

47. FIRE HOSE REEL INSTALLATION TO COMPLY WITH AS1221 & AS2441-2005

48. ALL EXIT DOORS AND DOORS IN THE PATH OF TRAVEL TO EXITS (INCLUDING ROLLER SHUTTER GRILLES) ARE TO BE CAPABLE OF BEING OPENED AT ALL TIMES FROM THE SIDE FACING A PERSON SEEKING EGRESS FROM THE BUILDING WITH A SINGLE HANDED DOWNWARD OR PUSHING ACTION ON A SINGLE DEVICE WITHOUT THE USE OF A KEY AND LOCATED BETWEEN 900mm AND 1200mm ABOVE FLOOR LEVEL IN ACCORDANCE WITH CLAUSE D2.21, BCA 2009.

49. ALTERATIONS TO THE SPRINKLER SYSTEM WILL BE CARRIED OUT TO COMPLY WITH AS2118.1-1999

50. ALTERATIONS TO THE SPRINKLER SYSTEM WILL BE DOCUMENTED, INSPECTED AND APPROVED AS COMPLYING WITH AS2118 BY THE FIRE PROTECTION INSPECTION SERVICE (OR OTHER APPROVED SPRINKLER INSPECTION AND TESTING SERVICE) AND THEIR WRITTEN APPROVAL PROVIDED TO THE RELEVANT BUILDING SURVEYOR ON COMPLETION OF THE WORKS.

51. SEPARATING WALLS WHICH EXTEND UP TO THE ROOF COVERING MUST BE PACKED WITH A SUITABLE FIRE RESISTING MATERIAL

52. SMOKE ALARMS ARE TO BE HARD-WIRED AND IN ACCORDANCE WITH AS3786-1993

53. WET AREAS WITHIN BUILDING AREA REQUIRED TO BE WATERPROOF OR WATER RESISTANCE IN ACCORDANCE WITH CLAUSE F1.7 OF THE BUILDING CODE OF AUSTRALIA VOLUME ONE AND AS3740.

54. ALL LIGHTING AND VENTILATION SHALL COMPLY WITH THE BUILDING CODE OF AUSTRALIA VOLUME ONE, PART F4 AND RELEVANT AUSTRALIAN STANDARDS

55. PRECAUTION MUST BE TAKEN BEFORE AND DURING BUILDING WORK TO PROTECT THE SAFETY OF THE PUBLIC. FURTHERMORE; UNDER NO CIRCUMSTANCES OWNER AND/OR BUILDER SHOULD PLACE ANY MATERIALS UPON THE FOOTPATH, NATURE STRIP OR COUNCIL RESERVE DURING THE BUILDING WORKS.

56. EMERGENCY LIGHTING AND EXIT SIGNS TO BE INSTALLED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA VOLUME ONE AND AS 2293.1

57. EXIT DOORS TO COMPLY WITH PART D2.21 OF THE BUILDING CODE OF AUSTRALIA VOLUME ONE

58. ALL OF THE ELECTRICAL INSTALLATIONS SHALL COMPLY WITH AS/NZS 3013

59. FIRE HYDRANTS TO BE INSTALLED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA VOLUME ONE AND AS 2419.1

60. ALL THE SERVICE PENETRATIONS AND CONTROL JOINT IN FIRE-RESISTANCE SEPARATION ELEMENTS SHALL COMPLY WITH AS 4072

61. ALL DOORS TO SANITARY COMPARTMENTS TO BE FITTED WITH SELF-CLOSERS

62. PROVIDE AN AUTOMATIC FIRE DETECTION AND ALARM SYSTEM COMPLYING WITH AS1670 AND MONITORED IN ACCORDANCE WITH CLAUSE 7 OF THE SPECIFICATION E2.2A

63. UNLESS STATED OTHERWISE THE BUILDER SHALL; MAKE PROVISIONS FOR ALL NECESSARY WATERPROOFING AND/OR DRAINAGE TO EXPOSED ROOF AND SURFACE AREAS, INCLUDING BASEMENT RETAINING WALLS, TO THE COMPLETE APPROVAL OF THE BUILDING SURVEYOR

64. UNLESS STATED OTHERWISE THE BUILDER SHALL;WHERE NECESSARY PROVIDES SUPPORT TO WALLS ADJACENT STRUCTURES BUILT ON THE BOUNDARY AND AVOID DAMAGE TO FOUNDATION TO THE SAME DUE TO EXCAVATION BENEATH FOOTINGS OR INGRESS IN WATER

65. UNLESS STATED OTHERWISE THE BUILDER SHALL; PROVIDE MECHANICAL VENTILATION TO ALL OFFICES AND SANITARY COMPARTMENTS VIA OUTLETS IN ACCORDANCE WITH AS1688 S.A.A. MECHANICAL VENTILATION AND AIR CONDITIONING CODE 76 AIR CHANGES P/H TO AMENITIES

66. IF A DOORWAY IN A FIREWALL IS FITTED WITH A SLIDING FIRE DOOR, WHICH IS OPEN, WHEN THE BUILDING IS IN USE - IT MUST BE HELD OPEN WITH AN ELECTROMAGNETIC DEVICE, WHICH WHEN DE-ACTIVATED SECONDS, AND MORE THAN 30 SECONDS, AFTER RELEASE; AND CONDITIONING CODE 6 AIR CHANGES P/H TO AMENITIES.

- IN THE EVENT OF POWER FAILURE TO THE DOOR - THE DOOR MUST FAIL SAFE IN THE CLOSED POSITION IN ACCORDANCE WITH (I); AND

- AN AUDIBLE WARNING DEVICE MUST BE LOCATED NEAR THE DOORWAY AND A RED FLASHING WARNING LIGHT OF ADEQUATE INTENSITY ON EACH SIDE OF THE DOORWAY MUST BE ACTIVATED IN ACCORDANCE WITH (B); AND

- SIGNS MUST BE INSTALLED ON EACH SIDE OF THE DOORWAY LOCATED DIRECTLY OF THE OPENING STATING - WARNING - SLIDING FIRE DOOR - IN CAPITAL LETTERS NOT LESS THAT 50mm HIGH IN A COLOUR CONTRASTING WITH THE BACKGROUND.

67. SMOKE / HEAT DETECTION SYSTEM TO BE IN ACCORDANCE WITH AS1670.1, 2 & 3-2004

68. THE DOOR TO A FULLY ENCLOSED SANITARY COMPARTMENT MUST COMPLY WITH THE FOLLOWING IF THERE IS NOT A CLEAR SPACE OF 1.2m BETWEEN THE CLOSET PAN AND NEAREST PART OF DOORWAY;

- OPEN OUTWARDS OR

- SLIDE OR

- BE READILY REMOVED FROM THE OUTSIDE OF THE SANITARY COMPARTMENT

69. COOLROOMS AND FREEZERS WILL BE PROVIDED WITH THE FOLLOWING IN ACCORDANCE WITH CLAUSE G1.2, BCA;

- DOOR OPENINGS NOT LESS THAN 600mm IN WIDTH AND A CLEAR HEIGHT NOT LESS THAN 1500mm

- DOORS WHICH ARE CAPABLE OF BEING OPENED BY HAND FROM INSIDE WITHOUT A KEY

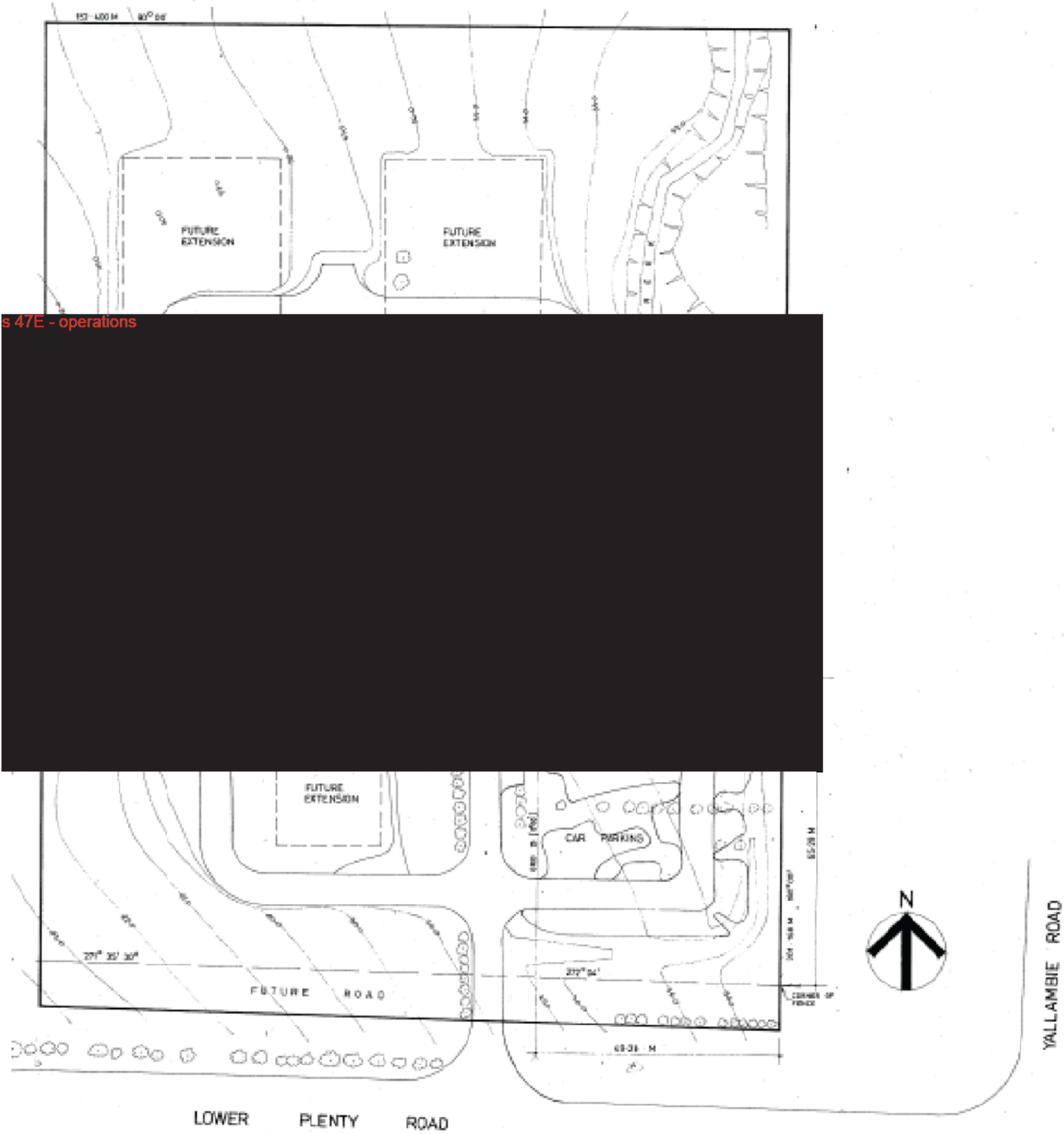
- INTERNAL LIGHTING CONTROLLED ONLY BY A SWITCH LOCATED ADJACENT TO THE INSIDE OF THE ENTRANCE DOORWAY

- INDICATOR LAMP POSITIONED OUTSIDE WHICH IS ILLUMINATED WHEN THE INTERNAL LIGHTS ARE SWITCHED ON

- AN ALARM DEVICE LOCATED OUTSIDE BUT CONTROLLABLE ONLY FROM WITHIN THE CHAMBER.

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		ARPANSA	-	-	-	STORAGE FACILITY	GENERAL NOTES	07.05.2018	201808	RW	SDS developments pty ltd
								SCALE	DRAWING No.	REVISION	PO BOX 1184 ST KILDA STH VIC 3182
						PROJECT ADDRESS		1:100 (A3)	00 OF 06	A	p. 0421 138 013 w. sky@redesgnstudio.com.au
DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE, CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE THE COMMENCEMENT OF ANY WORKS. © COPYR GHT 2015						619 LOWER PLENTY RD, YALLAMBIE, VIC 3085					

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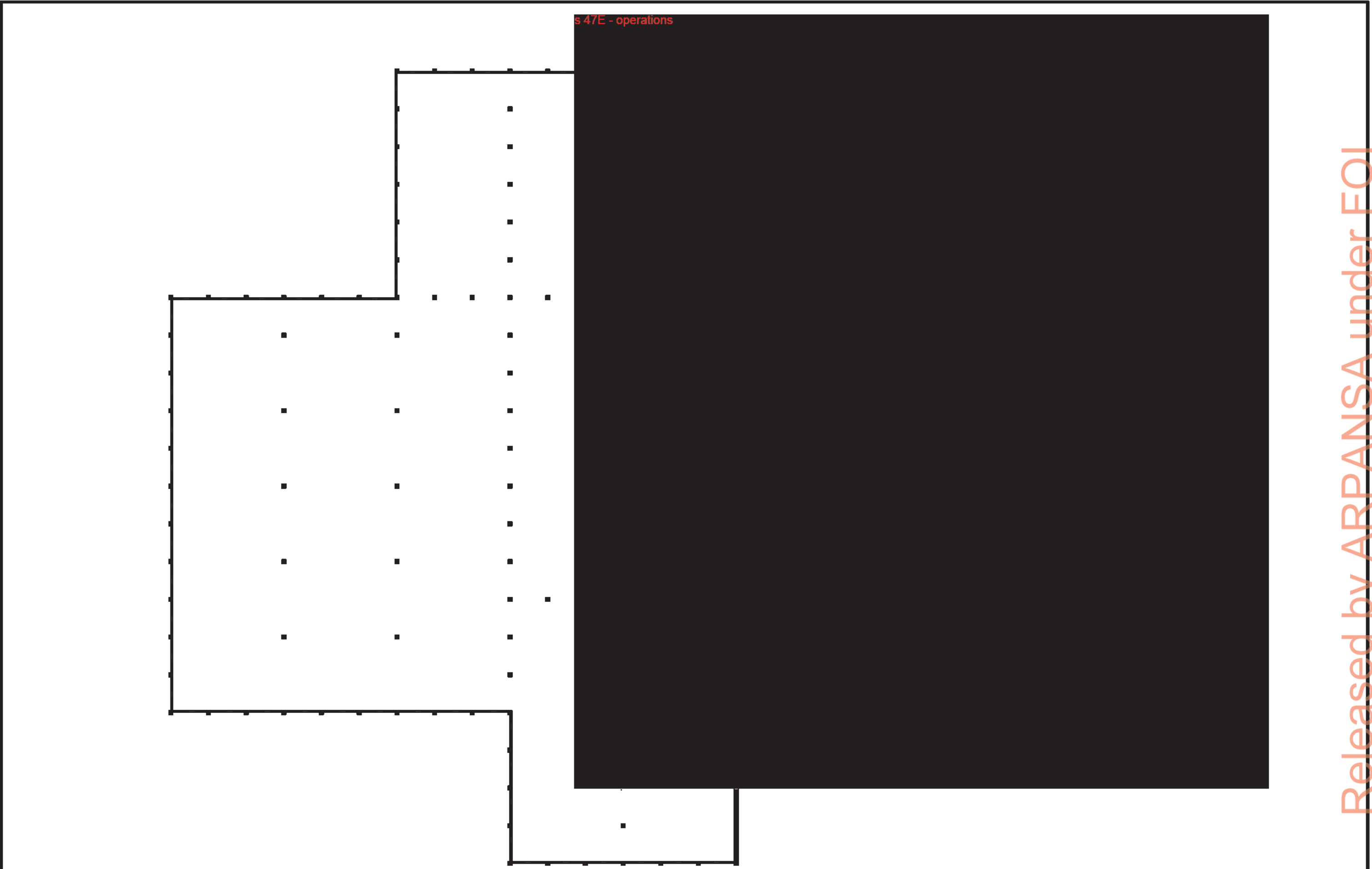
s 47E - operations

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CLIENT	DATE	REVISION	No.	PROJECT TITLE	DRAWING TITLE	ISSUE DATE	JOB No.	DRAWN	TOWN PLANNING
ARPANSA	-	-	-	STORAGE FACILITY	SITE PLAN	07.05.2018	201808	RW	SDS developments pty ltd
	-	-	-	PROJECT ADDRESS		SCALE	DRAWING No.	REVISION	PO BOX 1194 ST KILDA STH VIC 3182
	-	-	-	619 LOWER PLENTY RD, YALLAMBIE, VIC 3085		1:200 (A3)	01 OF 06	A	p. 0421 138 013 w. sky@nederlandstudio.com.au
	-	-	-						
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		ARPANSA	-	-	-	STORAGE FACILITY	SITE PLAN - LOWER GROUND FLOOR	07.05.2018	201808	RW	SDS developments pty ltd
						PROJECT ADDRESS		SCALE	DRAWING No.	REVISION	PO BOX 1194 ST KILDA STH VIC 3182
						619 LOWER PLENTY RD, YALLAMBIE, VIC 3085		1:200 (A3)	02 OF 06	A	p. 0421 138 013 w. sky@redesignstudios.com.au

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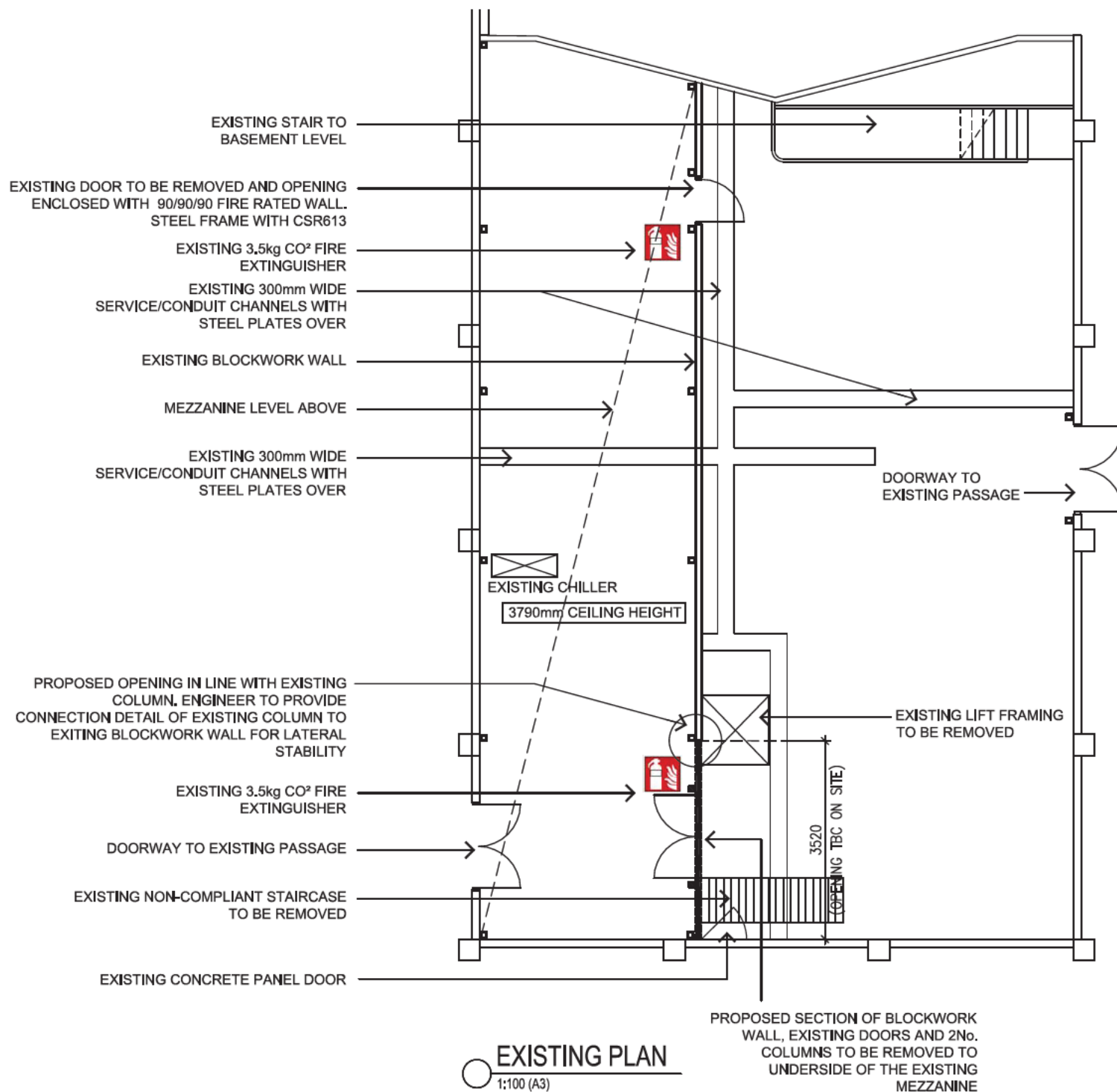
s 47E - operations



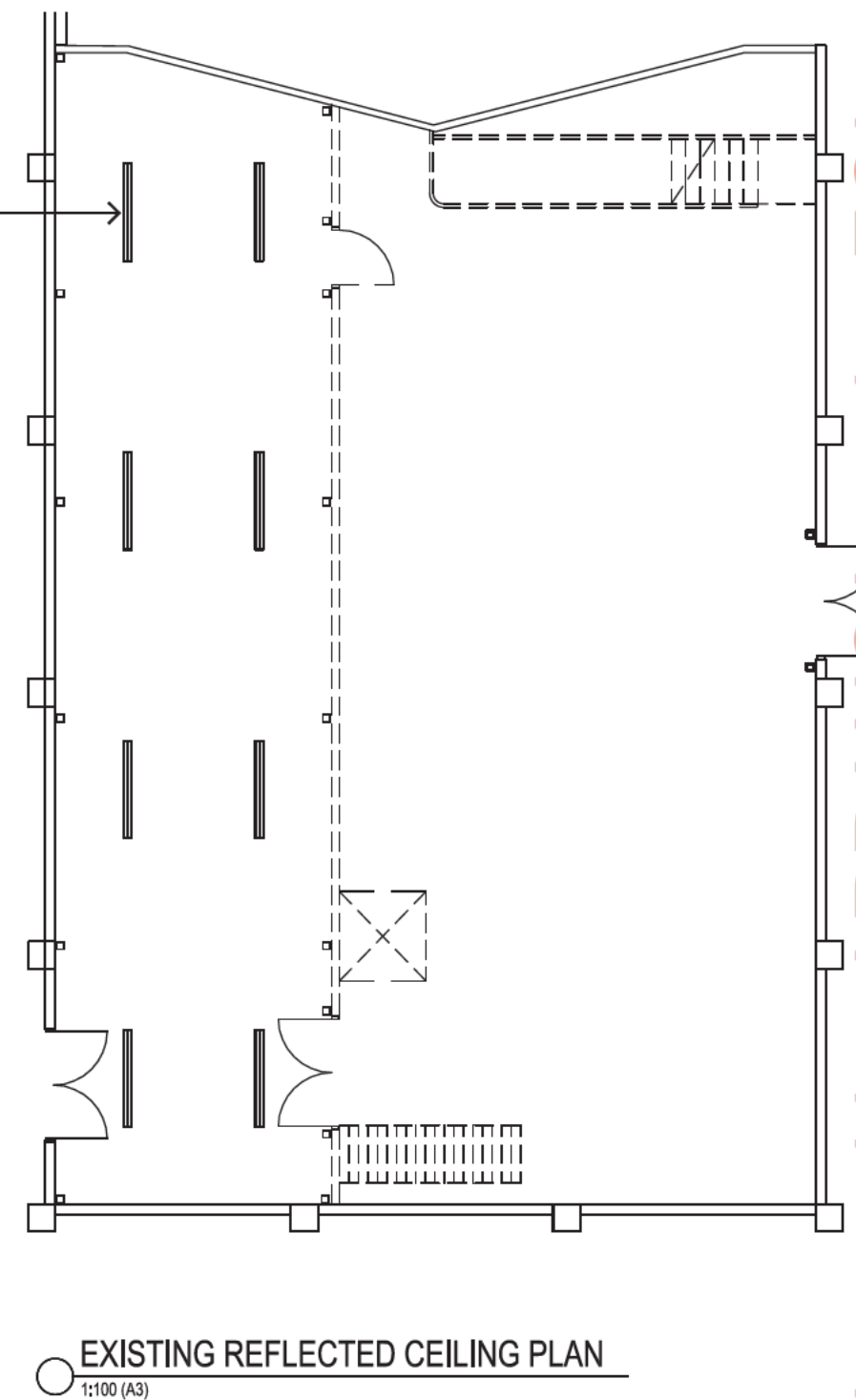
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	ARPANSA		-	-	STORAGE FACILITY	SITE PLAN - GROUND FLOOR	07.05.2018	201808	RW	SDS developments pty ltd PO BOX 1194 ST KILDA STH VIC 3182 p. 0421 138 013 w. sky@redesignstudio.com.au	
					PROJECT ADDRESS		SCALE	DRAWING No.	REVISION		
					619 LOWER PLENTY RD, YALLAMBIE, VIC 3085		1:200 (A3)	03	OF		A
								06			

ALL EXISTING FLOOR AND WALL PENETRATIONS TO BE COMPLETELY SEALED AND PAINTED BY CONTRACTORS



REPLACE EXISTING SURFACE MOUNTED DOUBLE FLURO LIGHTS WITH NEW LOW ENERGY LED FLURO LIGHT FITTINGS



NOTE: EXISTING 'A' FRAME TO BE REMOVED BY OTHERS PRIOR TO THE COMMENCEMENT OF WORKS

NOTE: EXISTING CHILLER TO BE REMOVED BY OTHERS PRIOR TO THE COMMENCEMENT OF WORKS

NOTE: CONTRACTOR TO REMOVE ALL FIXTURES AND FITTING UNLESS NOTED OTHERWISE

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CLIENT	DATE	REVISION	No.	PROJECT TITLE	DRAWING TITLE	ISSUE DATE	JOB No.	DRAWN	TOWN PLANNING
ARPANSA	-	-	-	STORAGE FACILITY	EXISTING GROUND FLOOR PLAN EXISTING CEILING PLAN	07.05.2018	201808	RW	SDS developments pty ltd
				PROJECT ADDRESS		SCALE	DRAWING No.	REVISION	PO BOX 1194 ST KILDA 5TH VIC 3182
				619 LOWER PLENTY RD, YALLAMBIE, VIC 3085		1:100 (A3)	04 06	OF A	p. 0421 139 013 w. sky@redesignstudio.com.au

EXISTING DOOR TO BE REMOVED
AND OPENING ENCLOSED WITH
90/90/90 FIRE RATED WALL, STEEL
FRAME WITH CSR613 (REFER
DETAIL 01 THIS PAGE)

90/90/90 FIRE RATED WALL, STEEL
FRAME WITH CSR613 (REFER
DETAIL 01 THIS PAGE)

X
PG 6

9kg WATER
EXTINGUISHER

PROPOSED NEW OPENING IN
BLOCKWORK WALL

DRY CHEMICAL
EXTINGUISHER

DRY CHEMICAL
EXTINGUISHER

3790mm CEILING HEIGHT

EXISTING CONDUITS/SERVICES AND
PROPOSED CONDUITS WITH PULL
ROPE FOR FUTURE SERVICES

PROPOSED CONCRETE SCREED
OVER INVERTED STEEL "U"
CHANNEL WITH PAINTED FINISH TO
FLOOR

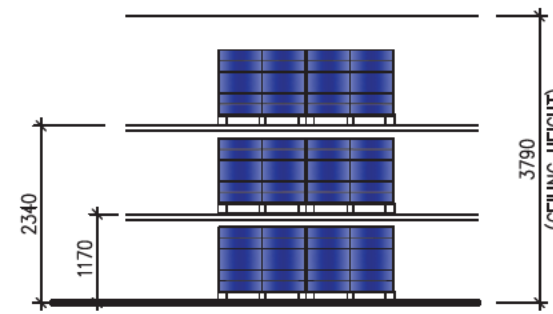
EXISTING CONCRETE
FLOOR

PROVIDE SEALANT TO EITHER
SIDE OF CHANNEL FOR ENTIRE
LENGTH

EXISTING SURFACE
MOUNTED DOUBLE FLURO

PROPOSED CHANNEL
WITHIN STORAGE AREA
DETAIL (NTS)

PROPOSED SURFACE
MOUNTED DOUBLE FLURO

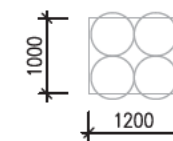


PROPOSED PLAN
1:100 (A3)

PROPOSED STACKING HEIGHTS
1:100 (A3)

PROPOSED REFLECTED CEILING PLAN
1:100 (A3)

FAR2357			WALL THICKNESS mm	103	116	128	144	202
- /120/120 90/90/90	CSR 613	BOTH SIDES (ANY ORDER)	(a) Nil	45/38	47/41	48/42	49/43	51/45
FAR2357		• 1 x 9mm CeminSeal™ Wallboard.	(b) 50 GW Partition 11kg	50/41	52/44	53/45	54/46	55/47
		• 1 x 16mm GYPROCK FYRCHek plasterboard.	(c) 75 GW Partition 11kg	-	54/46	54/46	55/47	56/48
			(d) TSB3/ASB3 Polyester	50/43	51/45	52/46	53/47	54/48
			(e) 60 Soundscreen™ 1.6	-	53/44	54/45	55/46	56/47
	CSR 080		WALL THICKNESS mm	101	114	126	142	200
			(a) Nil	43/36	45/39	46/40	47/41	49/43



PROPOSED PALLETT DIMENSIONS

NOTE: PRINT IN COLOUR

CIRCUIT 1 - TIME DELAY 45 MINUTES
CIRCUIT 2 0 TIME DELAY 30 MINUTES
KEY OVERRIDE TO BOTH CIRCUITS

LEGEND



1No. 9kg WATER
EXTINGUISHER



2No. DRY CHEMICAL
EXTINGUISHER



EMERGENCY LIGHTING



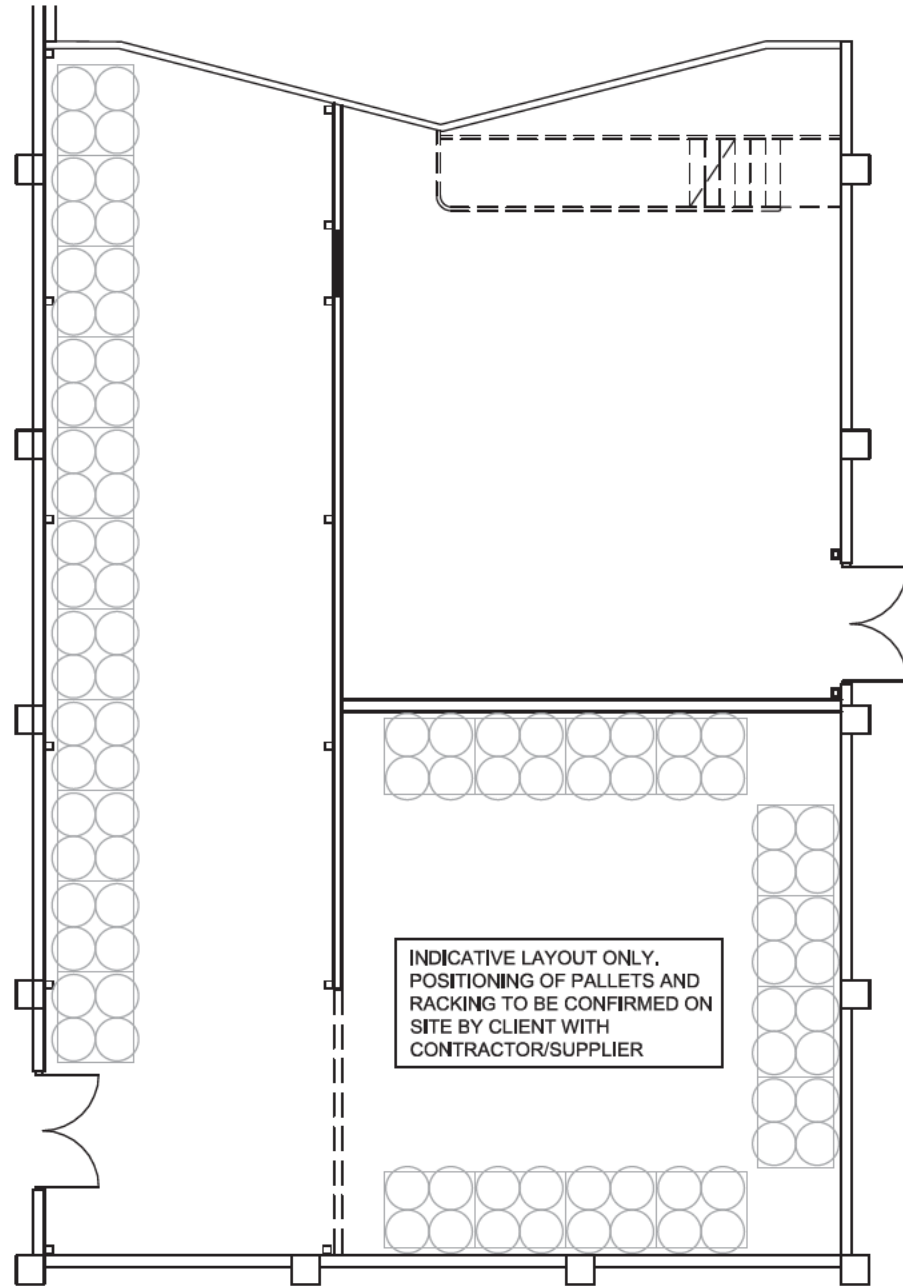
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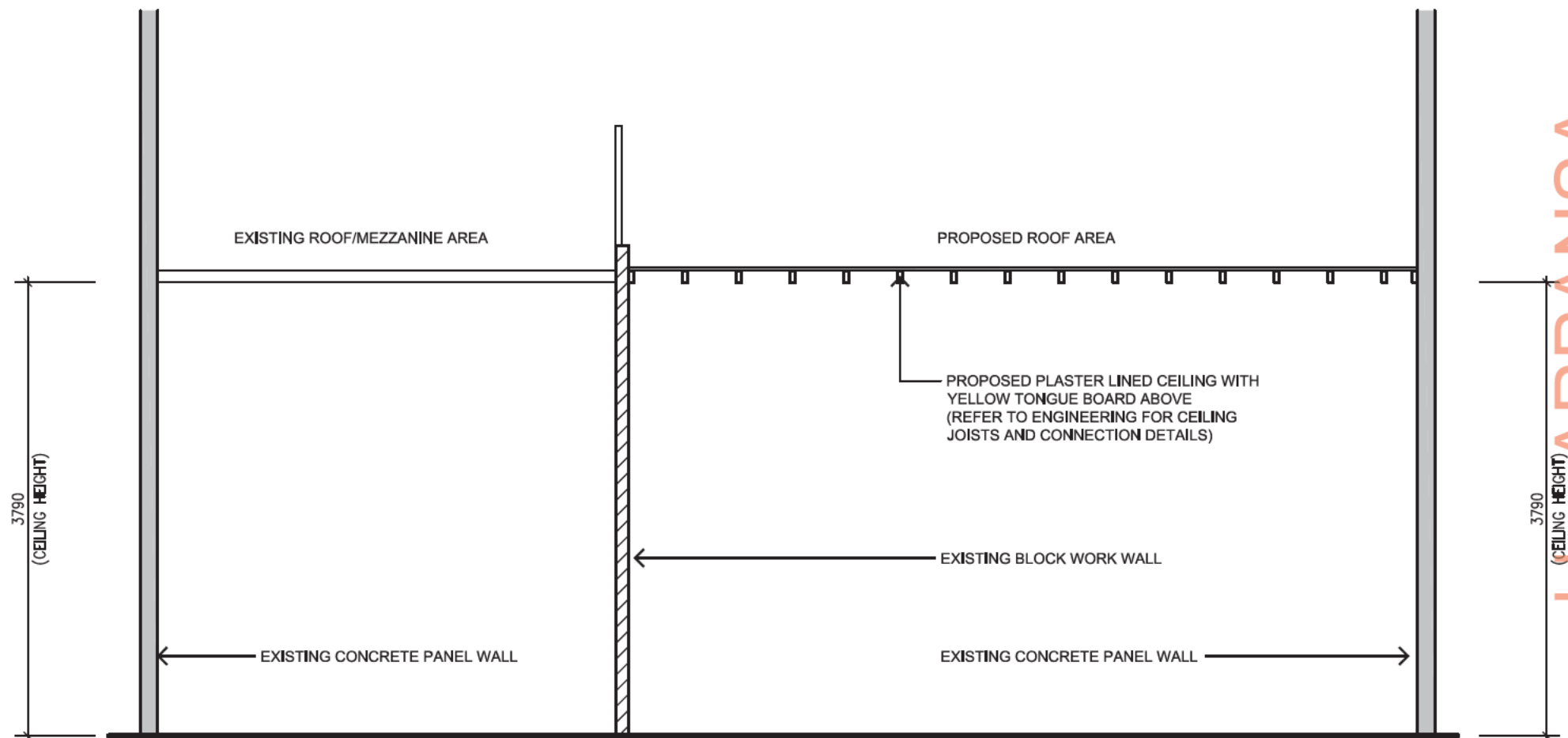
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CLIENT	DATE	REVISION	No.	PROJECT TITLE	DRAWING TITLE
ARPANSA	-	-	-	STORAGE FACILITY	PROPOSED WORKS
				PROJECT ADDRESS	
				619 LOWER PLENTY RD, YALLAMBIE, VIC 3085	

ISSUE DATE	JOB No.	DRAWN	TOWN PLANNING
07.05.2018	201808	RW	SDS developments pty ltd
SCALE	DRAWING No.	REVISION	
1:100 (A3) 1:50 (A3)	05 06	OF A	PO BOX 1194 ST KILDA STH VIC 3182 p. 0421 139 013 w. sky@redesignstudio.com.au

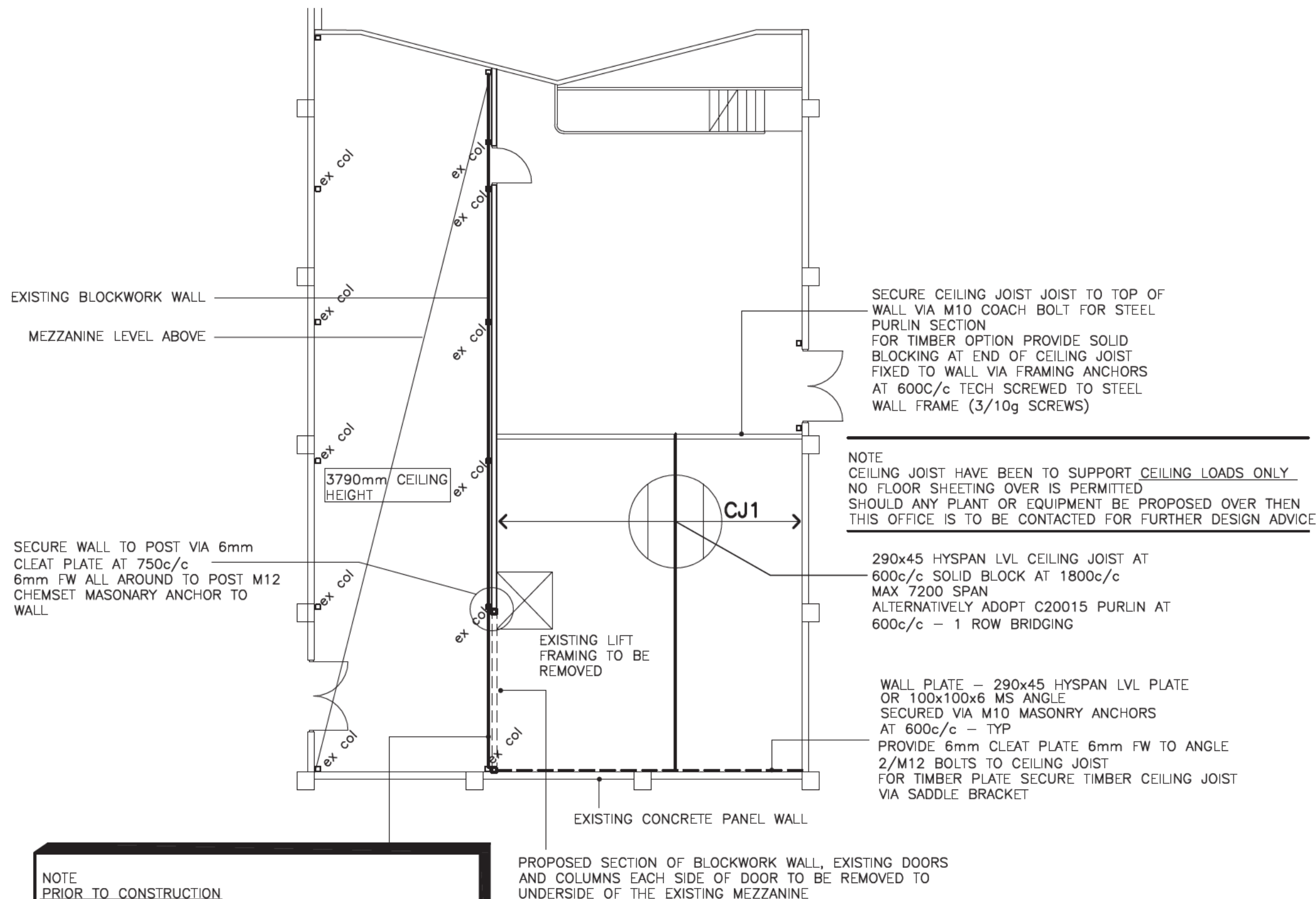


PROPOSED PALLET LAYOUT PLAN
1:100 (A3)



SECTION X:X
1:50 (A3)

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			-	-			07.05.2018	201808	RW		
							SCALE	DRAWING No.	REVISION		
							AS NOTED	06 OF 06	A		
							619 LOWER PLENTY RD, YALLAMBIE, VIC 3085				PROPOSED WORKS



NOTE
PRIOR TO CONSTRUCTION
EXISTING FLOOR BEAM TO BE CONFIRMED AS CONTINUOUS OVER NEW OPENING
BEAM SIZE TO BE REPORTED BACK TO THIS OFFICE FOR CONFIRMATION OF STRUCTURAL ADEQUACY PRIOR TO REMOVAL OF DOOR POSTS

STRUCTURAL PLAN

GENERAL

1. These drawings to be read in conjunction with all architectural and other consultants drawings and with such other written instructions as may be issued during the course of the contract. Any discrepancy shall be referred to the engineer or Architect before proceeding with the work.
2. Material and workmanship are to be obtained from the Architects drawing or from site. Engineers drawings must not be scaled.
3. During construction the Contractor shall be responsible for maintaining the structure in a stable condition and ensuring no part shall be overstressed under construction activities.

STRUCTURAL STEEL

1. All steelwork shall be carried out in accordance with the AS4100-1990 Steel Structures Code.
2. Connections shall be provided to carry the reactions shown unless otherwise noted.
3. Welds to be 6mm continuous fillet laid down with approved covered electrode in accordance with AS 1554 Welding Code. Bolts 16mm diam. black in 2mm clearance holes. Gusset plates 8mm unless otherwise noted.
4. All cleats and drillings for fixing of timber members, etc to be provided by the fabricator.
5. Camber to structural steel roof beams, trusses, etc, to be 3mm for every 1000mm of span unless otherwise noted.
6. All welding to be SP (Structural Purpose) grade, refer AS4100.

STRUCTURAL TIMBER

1. All structural timber shall conform to the requirements of AS1720 Timber Engineering Code and AS1684 Light Timber Framing Code.
2. Provide double studs (2/90x45 F5) to ends of all heavily loaded beams and lintols.
3. All beams built up from two or more members to be stitch bolted.
4. Provide double joists below all parallel load bearing walls.

PROPOSED OPENING
619 LOWER PLENTY RD
YARRAVILLE

JOHN KOTOWSKY & ASSOC
CONSULTING ENGINEERS

SUITE 4 2ND FL 902 MT ALEXANDER RD
ESSENDON 3040
TEL 9370 0511 FAX 9375 4463
EMAIL johnk@netsol.net.au

DATE 21/05/18

REV A

SHEET S1

FILE 18036

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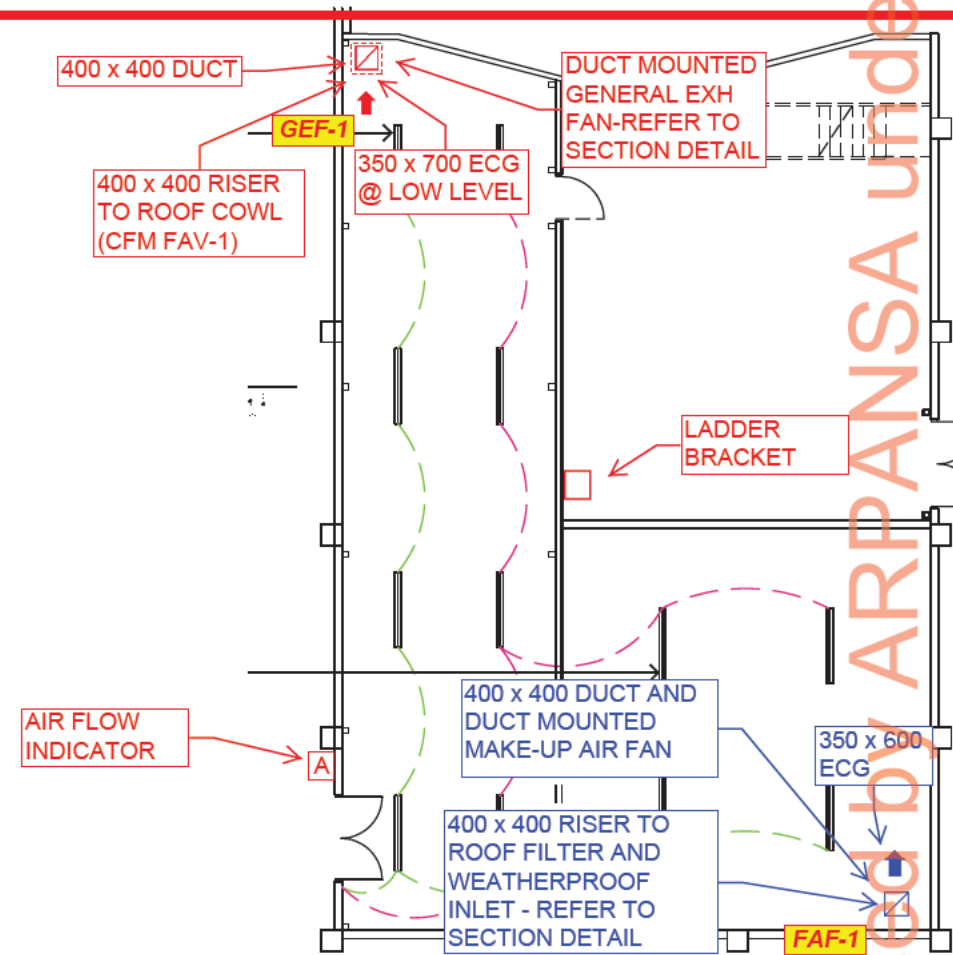
FAN SCHEDULE

Designation	GEF-1	FAF-1
Location	CEILING SPACE	CEILING SPACE
Area Served:	STORAGE AREA	STORAGE AREA
Make:	CFM	CFM
Model:	MUA305-4E - 30 DEG	MUA305-4E-20 DEG
Type	Axial - Duct Mounted	Axial - Duct Mounted
Air Quantity	600	480
Estim. Static (Pa)	80	80
Mounting:	Duct Mounted	Duct Mounted
SPEED (RPM)	1440	1440
Motor (kW)	0.18	0.18
FLA (Amp)	0.8	0.8
Phase	1 PH	1 PH
COMMENT	POWERED FROM LOCAL ON/OFF SWITCH	INTERLOCKED WITH GEF-1

NOTE: STATIC DIFFERENTIAL DEVICE ATTACHED TO FRESH AIR FILTER AND CONNECTED TO WALL MOUNTED FLOW INDICATOR DEVICE.

FILTER EQUIPMENT - SCHEDULE

FILTER No.	F-FAF - 1
MAKE	AIREPURE
TYPE/MEDIA	AIREPAK FILTER MULTI-POCKET/F5
W [mm]	610 mm
H [mm]	610 mm
D [mm]	380 mm
No Off	1
Total Air	480 l/s
Initial	40 Pa
Final	60 Pa

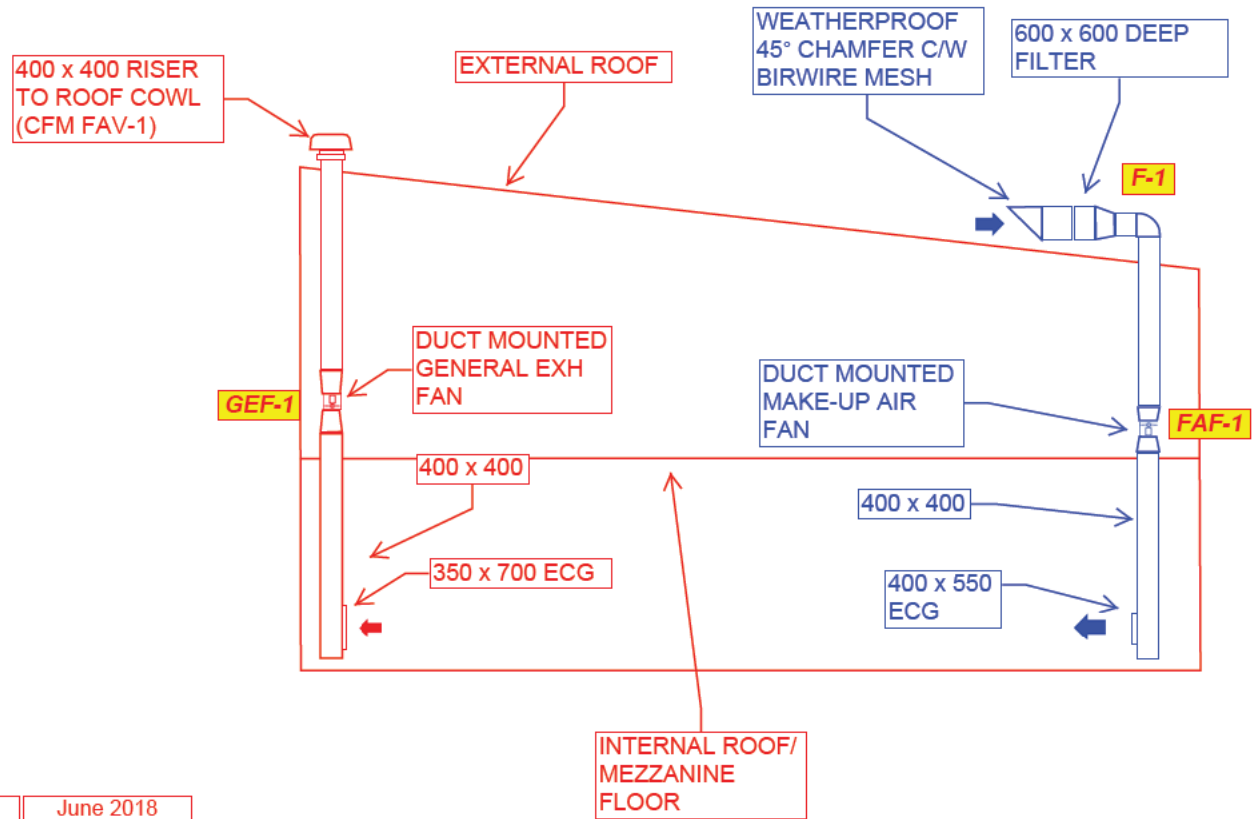


BUILDING SERVICES
ENGINEERING AND
DESIGN
1310 Portarlington Road
Curlewis 3222
0423 279 170

ARPANSA
619 LOWER
PLENTY ROAD
YALLAMBIE 3085

SHEET TITLE:
STORAGE FACILITY
VENTILATION
SERVICES

June 2018
Scale: NTS
Drawing No.
SKM-1_R1



BUILDING SERVICES
ENGINEERING AND
DESIGN
1310 Portarlington Road
Curlewis 3222
0423 279 170

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619 LOWER
PLENTY ROAD
YALLAMBIE 3085

SHEET TITLE:
STORAGE FACILITY
SECTION DETAIL

June 2018
Scale: NTS
Drawing No.
SKM-2